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**F/YR25/0860/F**

**Applicant: Mr Ricky Glowacki**

**Agent :**

**Land East Of 26, Turf Fen Lane, Doddington, Cambridgeshire**

**Erect 1 x self-build/custom build dwelling**

**Officer recommendation: Grant**

**Reason for Committee: Number of representations received contrary to Officer recommendation**

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## **1 EXECUTIVE SUMMARY**

- 1.1 This application is for the erection of 1 x self-build/custom build dwelling at Land East of 26 Turf Fen Lane, Doddington.
- 1.2 A previous outline application for 2 x self-build/custom dwellings was previously refused and subsequently dismissed at appeal. The inspector concluded that this application would not be contrary to Policy LP12 and LP16 (d) of the Fenland Local Plan, however, would be contrary to Policy LP2, LP14 and LP16(e) on residential amenity and flood risk grounds.
- 1.3 This application has reduced the quantum of development proposed and re-positioned the proposed dwelling further away from the boundary of No. 4 May Meadows, which is considered to have overcome the residential amenity issues raised on the previous application.
- 1.4 The re-positioning of the proposed dwelling within the site and the reduction of the red-line boundary of the site has resulted in the site being contained within Flood Zone 1. As such, this has overcome the flood risk issues previously raised.
- 1.5 The application is therefore considered to comply with the relevant policies of the Fenland Local Plan and is therefore recommended for approval, subject to the completion of a legal agreement securing the Self-Build and Custom nature of development.

## **2 SITE DESCRIPTION**

- 2.1 The application site is situated to the east of No. 26 Turf Fen Lane, within the settlement of Doddington.
- 2.2 The site is accessed off May Meadows and is situated to the south of 3 and 4 May Meadows and currently comprises garden land associated with No. 26 Turf Fen Lane and is partially bound by close boarded fences and post and rail fencing.
- 2.3 The application site is situated within Flood Zone 1.

### 3 PROPOSAL

- 3.1 This application is a full application for the erection of 1 x self-build/custom dwelling.
- 3.2 The proposed dwelling would be a 3-storey, detached L-shaped dwelling with accommodation situated within the roof space. The dwelling would have a width of 16 metres approx and a depth of 12.4 metres approx. The roof proposed would be pitched with an eaves height of 5.4 metres approx and a ridge height of 10.2 metres approx.
- 3.3 Fenestration is proposed upon the front (principle) and rear elevation of the dwelling, with two dormer windows proposed to the front roof slope and four roof lights to the rear roof slope.
- 3.4 The dwelling is proposed to be accessed by a gravel driveway between No. 4 and 5 May Meadows, with parking and turning space situated to the front of the dwelling. Private amenity space is proposed to the rear of the dwelling.
- 3.5 Full plans and associated documents for this application can be found at: <https://www.publicaccess.fenland.gov.uk/publicaccess/>

### 4 SITE PLANNING HISTORY

- 4.1 There are a number of applications within the immediate vicinity of the site relating to the wider May Meadows development. There are currently 6 dwellings along May Meadows, with extant outline permission for 2 further dwellings. The following history relates to the current the site itself:

Reference	Description	Decision
F/YR25/0010/O	Erect 2 x self-build/custom dwellings (outline application with matters committed in respect of access and layout)	Refused 26/02/2025 Appeal Dismissed 15/08/2025

### 5 CONSULTATIONS

#### 5.1 Doddington Parish Council

*Doddington Parish Council objected to the earlier application to develop this site and were very pleased when FDC refused to grant planning permission which was then confirmed when an appeal was dismissed. Notwithstanding the comments made by the applicants to overcome some of the reasons for their appeal being dismissed, the Parish Council still objects to the current application.*

*Whilst we note that the current application is for one dwelling whilst the original application was for two dwellings, and they have modified its position, the current application is still a back land infill development and as such will have an adverse impact on the character and appearance of the surrounding countryside and farmland contrary to policy LP12.*

*I hope that FDC will again refuse to grant permission to develop this area of land.*

## **5.2 FDC Environmental Health**

*The Environmental Health Team note and accept the submitted information and have 'No Objections' to the proposal, as it is unlikely to have a detrimental effect on local air quality, be affected by ground contamination or adversely impact the local amenity due to excessive artificial lighting.*

*This service would however welcome a condition on working times due to the close proximity of existing noise sensitive receptors, with the following considered reasonable:*

*No construction work shall be carried out and no plant or power operated machinery operated other than between the following hours: 08:00 hours and 18:00 hours on Monday to Friday, 08:00 hours and 13:00 hours on Saturday and at no time on Sundays, Bank or Public Holidays, unless otherwise previously agreed in writing with the Local Planning Authority.*

## **5.3 FDC Environmental Services**

*We have 'no objections'*

## **5.4 CCC Highways**

*Following a careful review of the documents provided to the Local Highway Authority as part of the above planning application, no significant adverse effect upon the public highway should result from this proposal, should it gain benefit of planning permission*

## **5.5 Definitive Map Team**

*Public Footpath No.19 Doddington runs vertically to the east of the application site. To view the location of the Footpath please view our interactive map online which can be found at <http://my.cambridgeshire.gov.uk/myCambridgeshire.aspx>. Whilst the Definitive Map Team has no objection to this proposal, the Footpath must remain open and unobstructed at all times.*

## **5.6 Local Residents/Interested Parties**

6 letters of objection were received from address points within March and Doddington. 4 of these letters were from properties at May Meadows. The reasons for objection are summarised as follows:

<b>Objecting Comments</b>	<b>Officer Response</b>
Infrastructure at maximum	The addition of one dwelling is unlikely to significantly impact upon existing village infrastructure.
Request for height increase to fence along May Meadows	This fence is outside of the red line boundary of the application site and therefore cannot be considered under this application.
Scale of development at May Meadows	Addressed within the 'Background' section and 'Character and appearance' assessment section of

	the report.
Previous refusal for two dwellings	The previous refusal was for two dwellings, which was subsequently dismissed at appeal. The appeal is discussed in greater detail within the 'Background' section of the report.
Incorrect ownership certificate	The applicant has filled in Certificate of Ownership – Certificate B. Irrespective of this, land ownership is a civil matter and not a material planning consideration.
Precedent and Outside the developed footprint	Addressed within the 'Background' section and 'Character and appearance' assessment section of the report.
Impact on character	Addressed within the 'Character and appearance' assessment section of the report.
Amenity concerns	Addressed within the 'Residential amenity' assessment section of the report.
BNG not addressed	Addressed within the 'Biodiversity Net Gain (BNG)' assessment section of the report.
Non-compliance with existing planning conditions	Objections which relate to previous applications cannot be used as a reason to refuse this application.
Noise pollution	Noise pollution from construction is unlikely to be severe and is temporary and therefore cannot be used as a reason to justify refusal.  The addition of one property utilising the access road is unlikely to introduce significant noise impacts.
Highway safety and access into the site	Addressed within the 'Highways/Parking' assessment section of the report.
Drainage	Addressed within the 'Flood Risk' assessment section of the report.

## 6 STATUTORY DUTY

- 6.1 Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014) the Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021).

## 7 POLICY FRAMEWORK

### 7.1 National Planning Policy Framework (NPPF) 2024

Chapter 2 - Achieving sustainable development  
Chapter 4 – Decision-making  
Chapter 5 – Delivering a sufficient supply of homes  
Chapter 9 – Promoting sustainable transport  
Chapter 11 – Making effective use of land  
Chapter 12 – Achieving well-designed places  
Chapter 14 – Meeting the challenge of climate change, flooding and coastal change  
Chapter 15 – Conserving and enhancing the natural environment

## **7.2 National Planning Practice Guidance (NPPG)**

Determining a Planning Application

## **7.3 National Design Guide 2021**

Context

Identity

Built Form

## **7.4 Fenland Local Plan 2014**

LP1 – A Presumption in Favour of Sustainable Development

LP2 – Facilitating Health and Wellbeing of Fenland Residents

LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside

LP4 – Housing

LP5 – Meeting Housing Need

LP12 – Rural Areas Development Policy

LP14 – Responding to Climate Change and Managing the Risk of Flooding in Fenland

LP15 – Facilitating the Creation of a More Sustainable Transport Network in Fenland

LP16 – Delivering and Protecting High Quality Environments across the District

LP17 – Community Safety

LP19 – The Natural Environment

## **8 KEY ISSUES**

- **Principle of Development**
- **Character and appearance**
- **Residential amenity**
- **Highways/Parking**
- **Flood Risk and Drainage**
- **Biodiversity Net Gain (BNG)**
- **Other Matters**

## **9 BACKGROUND**

- 9.1 A previous application was refused on site (planning reference F/YR25/0010/O) for the erection of 2 x self-build/custom dwellings (outline application with matters committed in respect of access and layout). The reasons for refusal were as follows:

*1 Policy LP12 of the Fenland Local Plan (2014) details a range of criteria against which development within the villages will be assessed and Policy LP16 seeks to ensure that proposed development responds to and improves the character of the local built environment. The application site proposes the construction of up to two dwellings located on land to the rear of frontage residential development along Turf*

*Fen Lane. The proposed development would result in detriment of the character and appearance of the area and would create a precedent for further backland development at sites with similar geometry. Thus, the proposal would therefore fail to comply with the requirements of Policy LP12 and Policy LP16 (d) of the Fenland Local Plan (2014).*

*2 Policies LP2 and LP16(e) of the Fenland Local Plan seek to ensure that the development does not adversely affect the amenity of neighbouring users or future occupiers. Due to the proximity of the proposed dwelling at Plot 1 to the neighbouring property at No. 4 May Meadows to the north, there is potential for overbearing and overshadowing to the neighbouring property to the detriment of residential amenity. The site is situated within a backland location, therefore some form of street lighting would be required however this is also likely to adversely impact upon neighbouring property due to the proximity of the proposed dwellings to the neighbouring property.*

*With regard to amenity for future occupiers, the bin storage point will be situated in excess of the recommended 30m drag distance between storage and collection areas which represents a poor level of residential amenity.*

*The creation of such an unappealing living environment for future occupiers and the neighbouring occupiers would be contrary to the above policies*

*3 Policy LP14 (Part B) of the Local Plan and Paragraph 175 of the NPPF require development in areas at risk now or in the future from any flooding to undergo a sequential test to demonstrate that the development cannot be delivered elsewhere in the area at lower risk areas of flooding.*

*The site lies in an area at medium and high risk of flooding and fails to successfully demonstrate through the application of the sequential test that the development could not be located elsewhere in a location at a lower risk of flooding. Consequently, the development would place people and property at an unwarranted risk of flooding contrary to policy LP14 of the Fenland Local Plan (2014) and the flood risk avoidance requirements of the NPPF.*

- 9.2 This application was subsequently dismissed at appeal on 16<sup>th</sup> August 2025 (appeal reference APP/D0515/W/25/3363282).
- 9.3 Reason for refusal 1 related to the character and appearance. The inspector noted that May Meadows is comprised of large two-storey dwellings of varying design and that there is no prevailing architectural character among these dwellings and the surrounding area. They also noted that the area to the rear of No. 26 appears as pastureland rather than cultivated garden land and that the site is not outside the settlement's development limits, nor does it relate more to the surrounding countryside. The inspector did not consider that the site was a 'backland site'. They concluded that the proposal would comply with Policies LP12 and LP16(d) of the Fenland Local Plan.
- 9.4 Reason for refusal 2 related to impact on neighbouring users, particularly No. 4 May Meadows. The inspector noted that due to the proximity of Plot 1 to the northern site boundary, along with the depth of the elevation of Plot 1, it is likely that overbearing impact would be introduced upon No. 4 May Meadows. The scale of such impact would be dependent on the height of the elevation. The inspector concluded that the proposal would be contrary to Policies LP2 and LP16(a) on overbearing impacts only. They did not consider that the proposal would introduce

adverse overshadowing impacts. They also noted the lack of information regarding street lighting, however could not conclude that this would represent an issue.

- 9.5 With regard to bin storage, the inspector noted that this could be addressed through planning condition.
- 9.6 Reason for refusal 3 relates to Flood Risk. The inspector concluded that a sequential test would be required and the absence of such is contrary to the requirements of both Policy LP14 of the Local Plan and Paragraph 175 of the NPPF.

## **10 ASSESSMENT**

### **Principle of Development**

- 10.1 The application site is situated to the south of the linear development of May Meadows and to the east of 26 Turf Fen Lane. Policy LP3 of the Fenland Local Plan advises that Doddington is a 'Growth Village' and that development within the existing urban area, or as small village extensions, such as this location, is acceptable. The principle of development is therefore considered acceptable. Application of policy LP12 will be assessed in 'character and appearance'.
- 10.2 Policy LP5 of the Local Plan also seeks to ensure that housing solutions are provided which meet market expectations, this includes self-build homes. This stance is reflected by Policy H3 of the March Neighbourhood Plan. Under Section 1 of the Self Build and Custom Housebuilding Act 2015, Local Authorities are required to keep a register of those seeking to acquire serviced plots in the area for their own self-build and custom house building. They are also subject to duties under Sections 2 and 2A of that Act to have regard to this and to give enough suitable development permissions to meet the identified demand.
- 10.3 As set out in the Regulations, Part 1 of a register comprises those people and organisations who meet all the eligibility criteria, including the local connection test. Part 2 comprises those people and organisations who meet most, but not necessarily all, the eligibility criteria. The Council has a duty to 'give suitable development permission in respect of enough serviced plots of land to meet the demand for self-build and custom housebuilding in the authority's area' (i.e. to meet the demand for the number of applicants on Part 1 of their register) within a 3 year period, post the end of the base period.
- 10.4 The permissions granted demonstrate that the demand for self-build and custom housing (as identified by the register) is comfortably being met in Fenland. Therefore, no weight will be given to the delivery of self/ custom build housing at this time.

### **Character and appearance**

- 10.5 Local Plan Policy LP16 identifies that proposals for new development will only be permitted if it can be demonstrated that the proposal, inter alia makes a positive contribution to the local distinctiveness and character of the area, enhances its local setting, responds to and improves the character of the local built environment, provides resilience to climate change, reinforces local identity and does not adversely impact, either in design or scale terms, on the street scene, settlement pattern or the landscape character of the surrounding area. The

topography of the site is relatively flat with visual screening on the northern boundary of the site provided by the existing May Meadows development and western boundary due to the presence of No. 26 Turf Fen Lane.

- 10.6 Whilst acknowledging that the site is within Doddington and is acceptable in principle, it must also comply with the requirements of Part A of policy LP12. This states that development can be supported where it does not harm the wide open character of the countryside and provides further guidance as to the restriction of such development to ensure that it has an acceptable impact on the settlement and its character. The policy requires development to meet certain criteria in order to be supported. Criterion (a) states that the site must be in or adjacent to the existing developed footprint of the village.
- 10.7 Whilst the previous appeal on site was dismissed, this was not on character and appearance grounds. The Inspector considered that the site was not situated outside of the settlement's development limits and did not relate more to the surrounding countryside and did not consider the site as 'backland' site. The Inspector considered that the development of the site would be compliant with Policies LP12 and LP16(d). As such, it is not considered that the introduction of a single dwelling on site would be out of character with the surrounding pattern of development.
- 10.8 The proposal is for a detached 3-storey dwelling, with a maximum ridge height of 10.2 metres. The dwellings along May Meadows have varying ridge heights, with the greatest currently being approximately 8.8 metres, therefore the proposed dwelling would have a greater ridge height of approximately 1.3 metres. The inspector noted within the previous appeal that there is no prevailing architectural character amongst the dwellings along May Meadows, or within the surrounding area. Therefore, whilst the dwelling would have a greater ridge height than the surrounding dwellings, due to the lack of discernible character, it is unlikely to adversely impact on the character and appearance of the surrounding area.
- 10.9 In terms of design and appearance of the dwelling, the dwelling be finished predominantly in a cream render, with red brick detailing. The dwellings along May Meadows are finished in buff brickwork and black cladding. However, the dwelling at 26 Turf Fen Lane is finished in a material palette similar to that which is proposed for the dwelling under this application. The design references the architectural style, detailing and visual cues of the adjacent dwelling at No. 26 Turf Fen Lane. Whilst there are some differences between the design of the proposed dwelling and those along May Meadows, it is not considered that such differences would impact visual amenity. As such, the development is considered to be acceptable in terms of design and appearance.
- 10.10 The development is therefore considered compliant with Policy LP12 and LP16 in this regard.

### **Residential amenity**

- 10.11 Policy LP2 states that development proposals should contribute to the Council's goal of Fenland's residents, inter alia, promoting high levels of residential amenity whilst policy LP16 states that development should not adversely impact on the amenity of neighbouring users such as noise, light pollution, loss of privacy and loss of light.
- 10.12 The submitted site plan indicates that the dwelling would be situated



approximately 6.3 metres from the rear boundary of 4 May Meadows. There would be a clearance of approximately 19.5 metres between the side elevation of the proposed dwelling and the rear elevation of No. 4.

10.13 Whilst it is acknowledged that the Inspector noted on the previous appeal that the development would likely have an overbearing impact on No. 4, the proposed development under the previous refusal was situated approximately 1.2 metres from the southern boundary of Plot 4. This proposal has therefore situated the dwelling a further 5.1 metres south of this boundary. Given the clearance between the two dwellings, it is therefore unlikely that the development would introduce any adverse overbearing or overshadowing impacts upon No. 4.

10.14 In terms of overlooking, the development proposes fenestration upon the front and rear elevations only. It is therefore unlikely that any adverse overlooking impacts would be introduced upon No. 4. No. 26 Turf Fen Lane is situated to the west of the application site, however there would be a clearance of approximately 22 metres between the rear elevation of the proposed dwelling and the rear boundary of the application site. The clearance between the two dwellings would be in excess of 40 metres. As such, it is unlikely that any adverse overlooking impacts would be introduced.

10.15 With regard to bin collection, the submitted site plan indicates a bin collection point at the top of the gravel driveway, adjacent to No. 4. The FDC Environmental Services team were consulted as part of this application who have raised no objection to the location of the bin collection point.

10.16 No details have been submitted with regard to street lighting, however this can be conditioned should the application be granted.

10.17 FDC Environmental Health were consulted as part of this application and have raised no objection to the proposed development. They have requested a condition regarding restriction on construction times, however as this development is for one dwelling this condition is considered unreasonable as construction noise is unlikely to be significantly adverse.

### **Highways/Parking**

10.18 Policy LP15 states that development proposals should demonstrate that they provide well designed, safe and convenient access for all. It also states that development schemes should provide well designed car parking appropriate to the amount of development proposed, ensuring that all new development meets the councils defined parking standards as set out in Appendix A.

10.18 The submitted site plan details the provision of 5 parking spaces, which is considered to be acceptable.

10.19 CCC Highways have raised no objection to the scheme as it is unlikely to materially impact upon the highway, albeit this relates solely to the public highway and not the private driveway arrangement.

10.20 The application proposes to utilise the existing access into May Meadows which is a private driveway. The access road into May Meadows has a width of approximately 6 metres which is considered to be acceptable.

10.21 The submitted site plan also indicates a gravel driveway to serve the dwellings.

Whilst it is noted that the existing access road into May Meadows is finished in gravel, it does not appear that such material has been approved under previous planning permissions apart from the turning head and the area to the front of Plots 5 and 6. This application proposes to provide a driveway off of this turning head of a length of 55 metres. The use of gravel for this driveway is considered to be unacceptable due to potential residential amenity issues relating to noise and accessing the bin collection point. As such, should permission be granted, a condition will be secured to ensure that details of an appropriate material are submitted for the access driveway. The existing access road into May Meadows will be referred to the planning enforcement team.

10.22 In addition to the above, should permission be granted a condition would be secured to ensure that details of temporary facilities to be provided clear of the public highway for the parking, loading, and unloading of all vehicles visiting the site during the period of construction are submitted and agreed by the LPA prior to the commencement of any development on site. This condition is considered necessary to ensure that construction traffic and vehicles do not obstruct the existing access and roadway. The applicant has agreed to the inclusion of such condition.

10.23 As such, there are no issues to address with regard to Policy LP15.

### **Flood Risk and Drainage**

10.24 The application site falls within Flood Zone 1 (low risk) and as such the proposal is considered to be appropriate development and does not require the submission of a flood risk assessment or inclusion of mitigation measures.

10.25 The comments received regarding Flood Risk are acknowledged, however the previous application was a larger site area which incorporated land within Flood Zones 2 and 3. This site area under this application has been reduced to be situated outside of Flood Zones 2 and 3.

### **Biodiversity Net Gain (BNG)**

10.26 The Environment Act 2021 requires development proposals to deliver a net gain in biodiversity following a mitigation hierarchy which is focused on avoiding ecological harm over minimising, rectifying, reducing and then off-setting. This approach accords with Local Plan policies LP16 and LP19 which outlines a primary objective for biodiversity to be conserved or enhanced and provides for the protection of Protected Species, Priority Species and Priority Habitat.

10.27 There are statutory exemptions, transitional arrangements and requirements relating to irreplaceable habitat which mean that the biodiversity gain condition does not always apply. In this instance, one or more of the exemptions / transitional arrangements are considered to apply and a Biodiversity Gain Condition is not required to be approved before development is begun because the nature of the development being self / custom build is exempt from statutory net gain.

### **Other Matters**

#### Unilateral Undertaking

10.28 Recent appeal decisions have consistently dismissed proposals where there was

no enforceable mechanism in place to ensure that the approved dwelling would be delivered and occupied as a genuine self-build or custom-build project. These decisions reinforce the importance of securing the self-build nature of such developments through a legally binding agreement.

10.29 In line with best practice and national policy guidance, it is therefore considered essential that a legal agreement; typically in the form of a Section 106 obligation, is secured to guarantee the delivery of the dwelling as self-build. Without such a mechanism, there is no means by which the Council can ensure the dwelling will meet the requirements of self-build housing as defined by the Self-Build and Custom Housebuilding Act 2015 (as amended).

10.30 As the application is recommended for approval, discussions have taken place between the Officer and Applicant to secure this obligation. However, in the interests of expediency, this does not prevent the Committee from reaching a decision, subject to completion of the agreement.

## **11 CONCLUSIONS**

11.1 This application seeks to erect one self-build/custom-build dwelling. A previous application on the site for outline consent for two dwellings was refused on character, residential amenity and flood risk issues. A subsequent appeal concluded that the development of this site would not appear out of character.

11.2 This application is for one dwelling which has been positioned further away from the boundary of No. 4 May Meadows, therefore overcoming the previous concerns raised regarding overbearing issues.

11.3 The proposed dwelling is also now positioned entirely within Flood Zone 1 and therefore there are no flood risk issues to address.

11.4 As such, the development is considered compliant with the relevant policies of the Fenland Local Plan and is therefore recommended for approval.

## **12 RECOMMENDATION**

**Members are recommended to GRANT the application in accordance with the following terms;**

1. The Committee delegates authority to finalise the completion of a legal agreement securing the Self-Build and custom nature of the development and planning conditions to the Head of Planning; and.

2. Following the completion of the legal agreement application F/YR25/0860/F be approved subject to planning conditions set out below (or as amended); or,

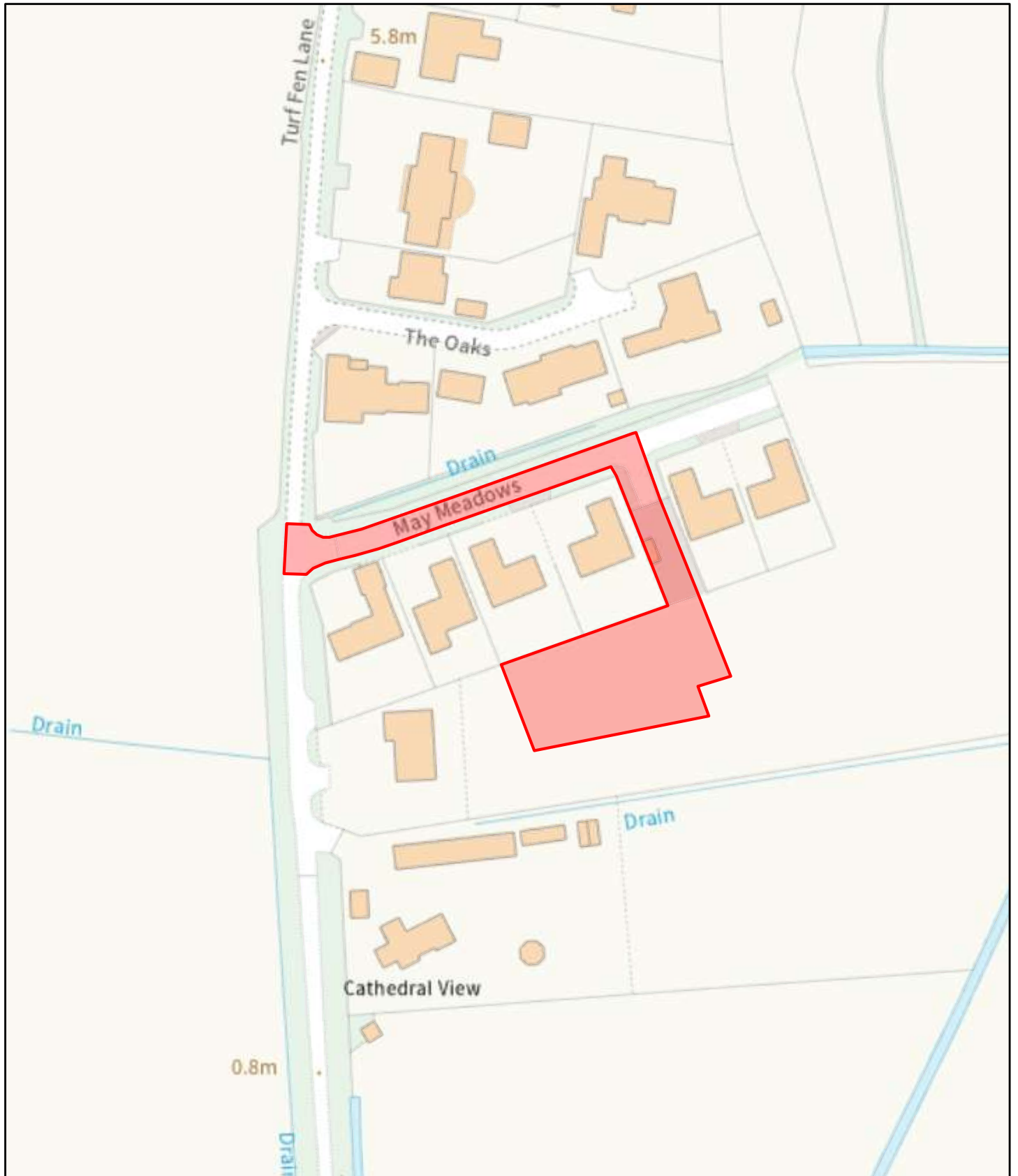
3. The Committee delegates authority to refuse the application in the event that the Applicant does not agree to any necessary extensions to the determination period to enable the completion of the legal agreement, or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

The proposed conditions are as follows:

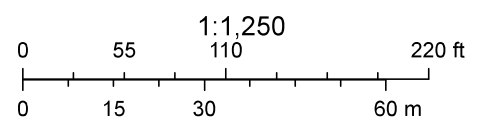
1	The development permitted shall be begun before the expiration of 3 years
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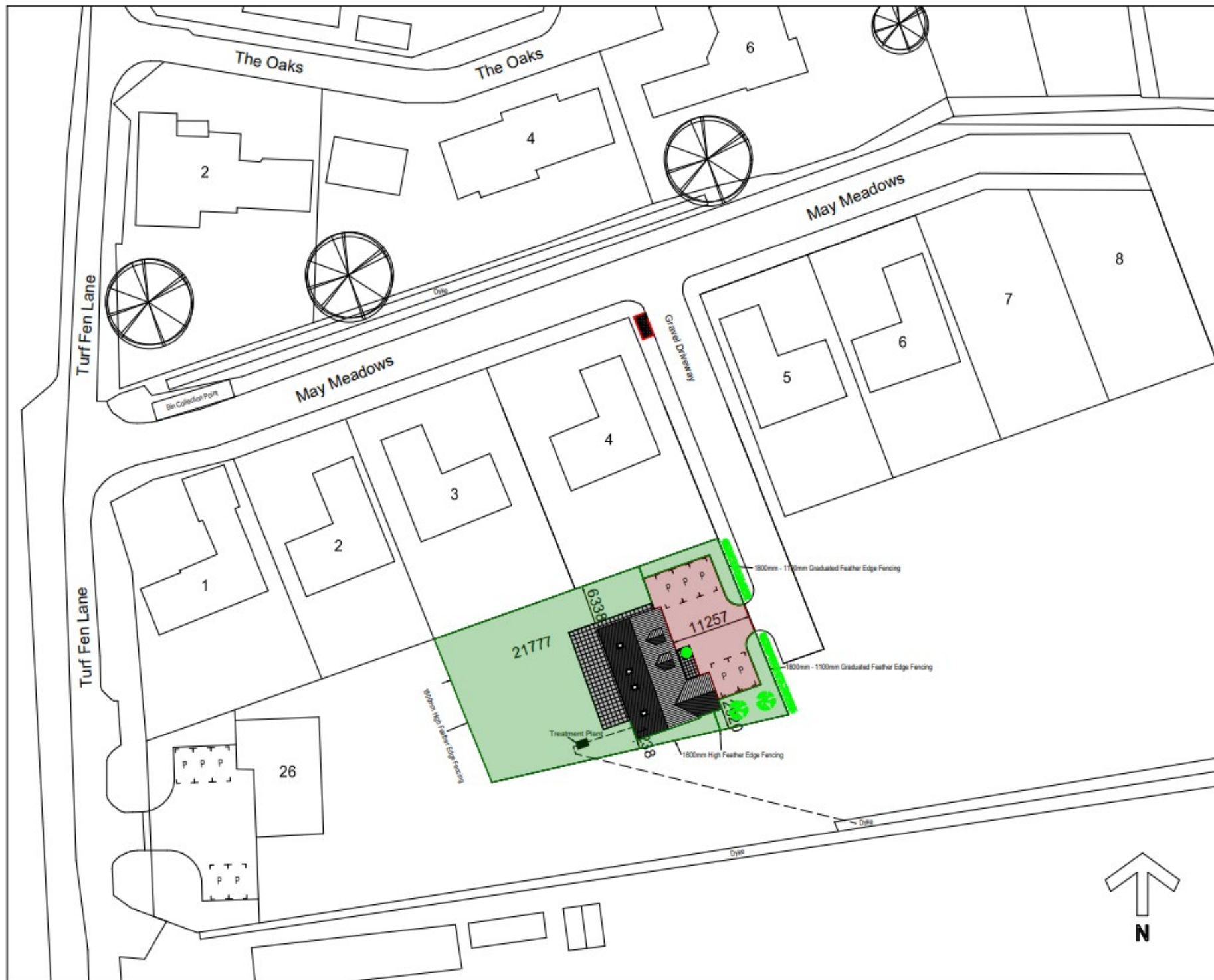
	<p>from the date of this permission.</p> <p>Reason - To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004.</p>
2	<p>The development hereby approved shall be finished externally in materials as per approved drawing 20250927-004-RevB</p> <p>Reason - To safeguard the visual amenities of the area and ensure compliance with Policy LP16 of the Fenland Local Plan, adopted May 2014.</p>
3	<p>Within 6-months of the commencement of development hereby approved, a scheme for the provision of external lighting shall be submitted to and approved in writing by the Local Planning Authority. The approved details shall be implemented prior to the occupation of the first dwelling hereby approved and retained thereafter in perpetuity.</p> <p>Reason - In order to ensure that the site meets the crime prevention guidelines in accordance with Policy LP17 of the Fenland Local Plan 2014.</p>
4	<p>Prior to the commencement of the development hereby approved, a temporary facilities area, details of which shall have previously been submitted to and agreed in writing with the Local Planning Authority shall be provided clear of the public highway for the parking, turning, loading, and unloading of all vehicles visiting the site during the period of construction.</p> <p>Reason: To minimise interference with the free flow and safety of traffic on the adjoining highway and to ensure compliance with Policy LP16 of the Fenland Local Plan, adopted May 2014.</p>
5	<p>Notwithstanding the submitted details and prior to the occupation of the dwelling hereby permitted a scheme for the surfacing of the private road extension shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out in accordance with the approved scheme prior to the occupation of the development and retained in perpetuity.</p> <p>Reason - To ensure the environment of the development is improved and enhanced and the amenity of residents is maintained in accordance with Policy LP2 and Policy LP16 of the Fenland Local Plan 2014.</p>
6	<p>Prior to the first occupation of the development the proposed on-site parking/turning area and access shall be laid out in accordance with the approved plans, surfaced in a bound material and drained within the site. The parking/turning area, surfacing and drainage shall thereafter be retained as such in perpetuity (notwithstanding the provisions of Schedule 2, Part A, Class F of The Town and Country Planning (General Permitted Development) (England) Order 2015, or any instrument revoking or re-enacting that Order).</p> <p>Reason - In the interest of highway safety and to ensure compliance with Policies LP15 and LP16 of the Fenland Local Plan 2014.</p>
7	Approved Plans

F/YR25/0860/F



11/14/2025, 10:14:24 AM





Notes:

Key:

- Gravel Driveway
- Paving Slabs
- Bin Collection Point
- Grass
- Proposed Hedge
- Proposed Shrub
- Proposed Tree
- Existing Tree

**Applicant**  
Mr Ricky & Donna Glowacki  
26 Turf Fen Lane  
Doddington,  
Cambridgeshire, PE15 0TB

**Project**  
6 Bed Detached Dwelling  
Land East of 26 Turf Fen Lane  
Doddington  
Cambridgeshire, PE15 0TB

**Drawing Title**  
Proposed Site Plan

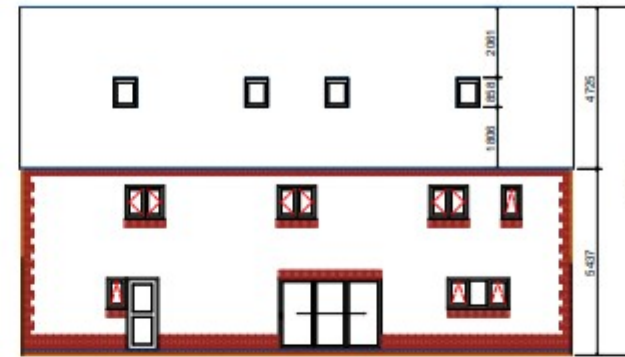
**Drawing No.**  
20250927-002-RevB

**Date**  
November 2025  
**Drawn by**  
R.Glowacki

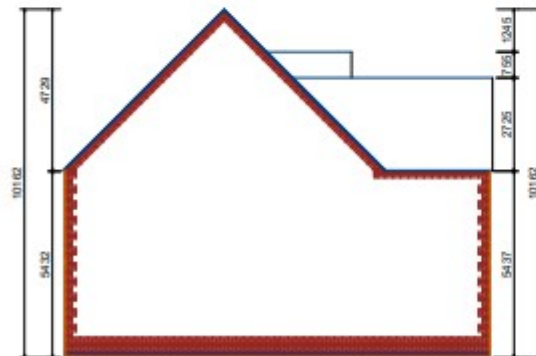
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1:500 @A3  
**Checked by**  
R.Glowacki



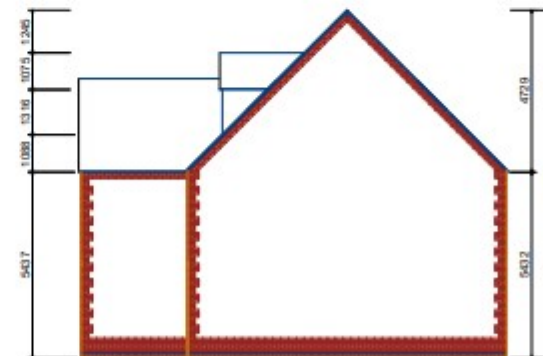
East Elevation



West Elevation



South Elevation



North Elevation

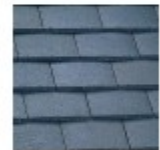
Notes:



Beige/Sand  
Monocouche  
Render (or similar)



Forterra  
Village Sunglow  
Brick (or similar)



Marley Plain  
Tile in Charcoal  
(or similar)

Applicant

Mr Ricky & Donna Glowacki  
26 Turf Fen Lane  
Doddington,  
Cambridgeshire,  
PE15 6TB

Project

6 Bed Detached Dwelling  
Land East of 26 Turf Fen Lane  
Doddington  
Cambridgeshire, PE15 6TB

Drawing Title

Elevation Plan

Drawing No.

20250927-004-RevB

Date

November 2025

Drawn by

R. Glowacki

Scale

1:100 @A2

Checked by

R. Glowacki



Notes:

Key:

- Internal Block Wall
- External Block Cavity Wall
- Floor Space
- Insulated rafters

Applicant

Mr Ricky & Dorna Glowacki  
26 Turf Fen Lane  
Doddington,  
Cambridgeshire, PE15 0TB

Project

6 Bed Detached Dwelling  
Land East of 26 Turf Fen Lane  
Doddington  
Cambridgeshire, PE15 0TB

Drawing Title

Floor Plan

Drawing No.

20250927-003-RevA

Date

October 2025

Drawn by

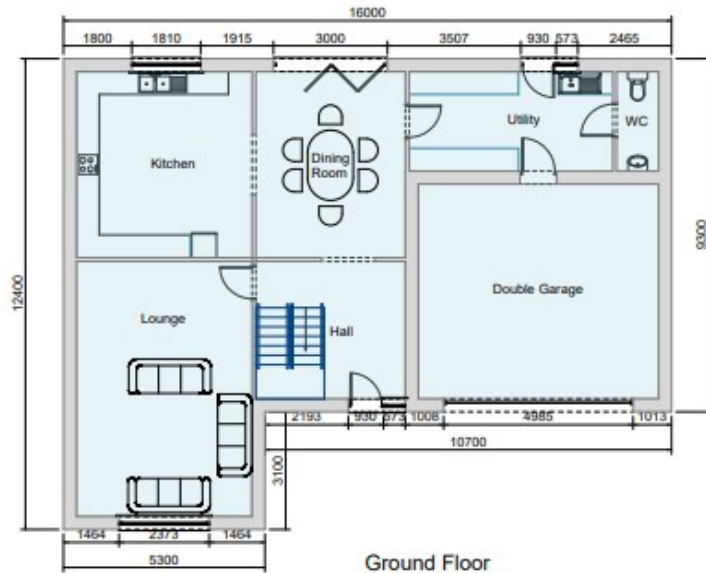
R.Glowacki

Scale

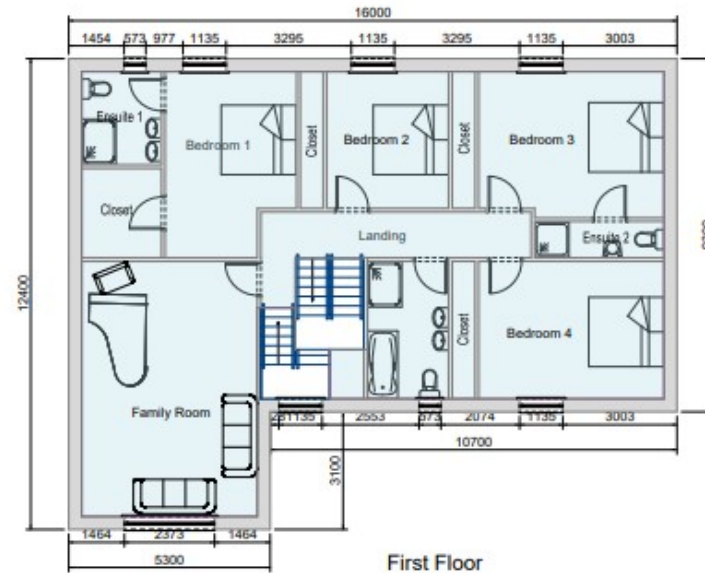
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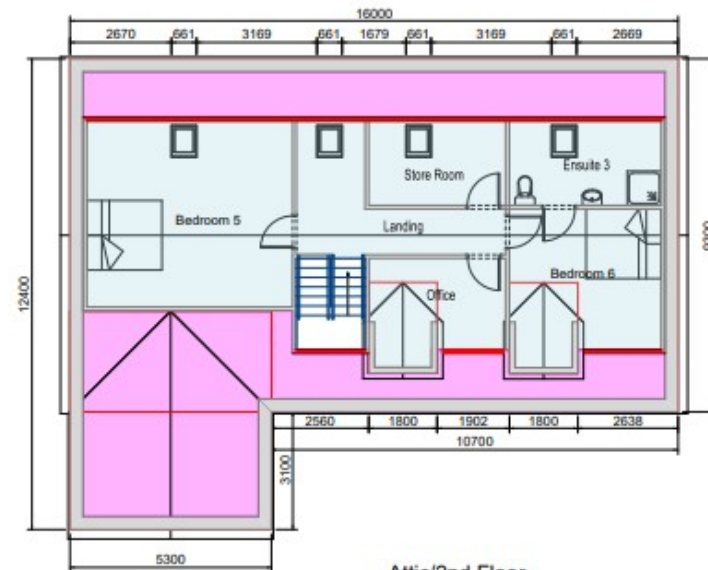
R.Glowacki



Ground Floor



First Floor



Attic/2nd Floor